

Plans and drawings relevant to reports submitted to Eastern Area Planning Committee

Wednesday 5th June 2024 at 6.30pm

**At Council Chamber, Council Offices, Market Street,
Newbury, RG14 5LD**

&

And via Zoom

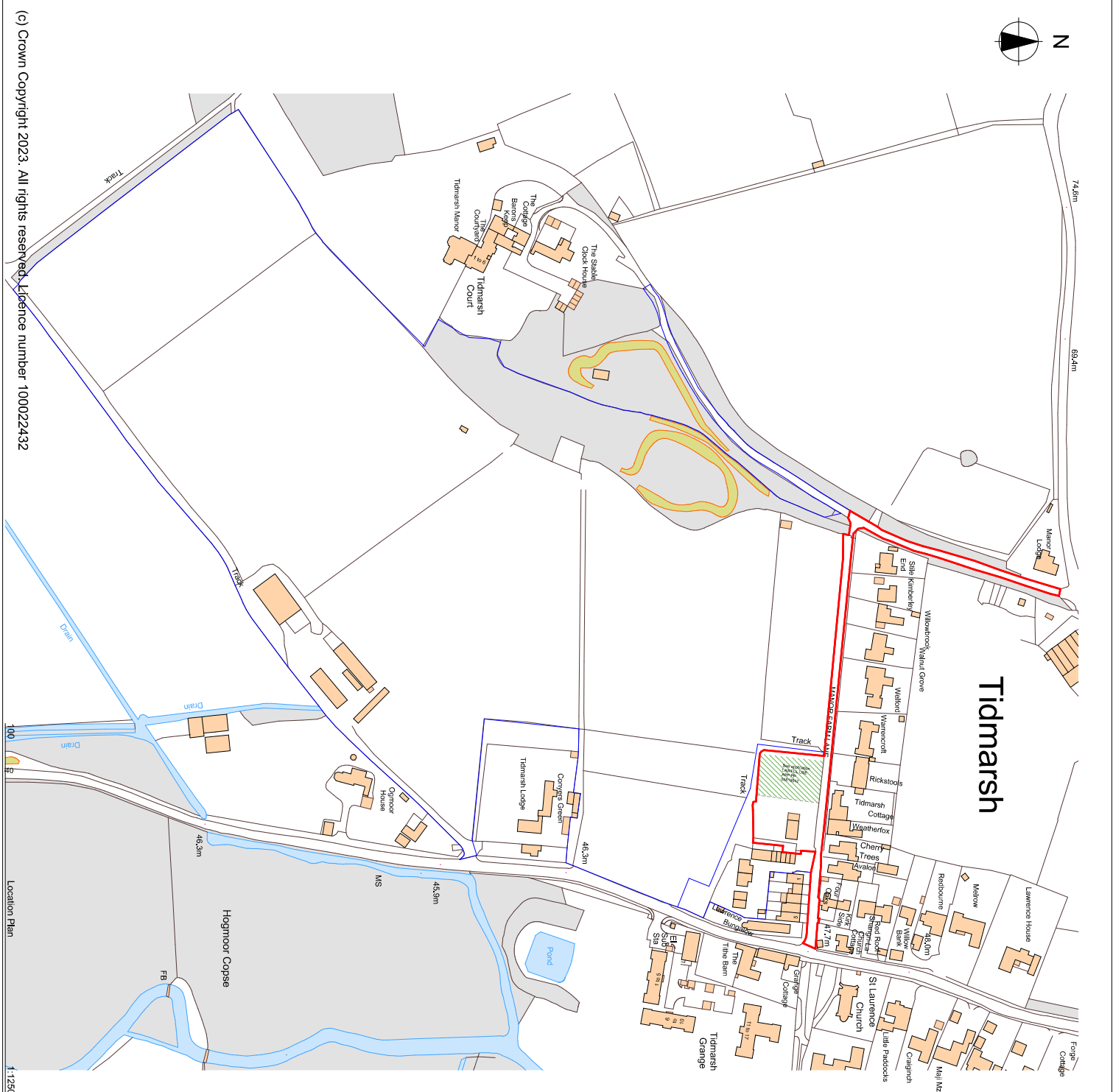
[to be read in conjunction with the main agenda]

Please note:

- *All drawings are copied at A4 and consequently are not scalable*
- *Most relevant plans have been included – however, in some cases, it may be necessary for the case officer to make a selection*
- *All drawings are available to view at www.westberks.gov.uk*



23/02254/FUL
The Rancher
Manor Farm Lane
Tidmarsh
Reading
RG8 8EX



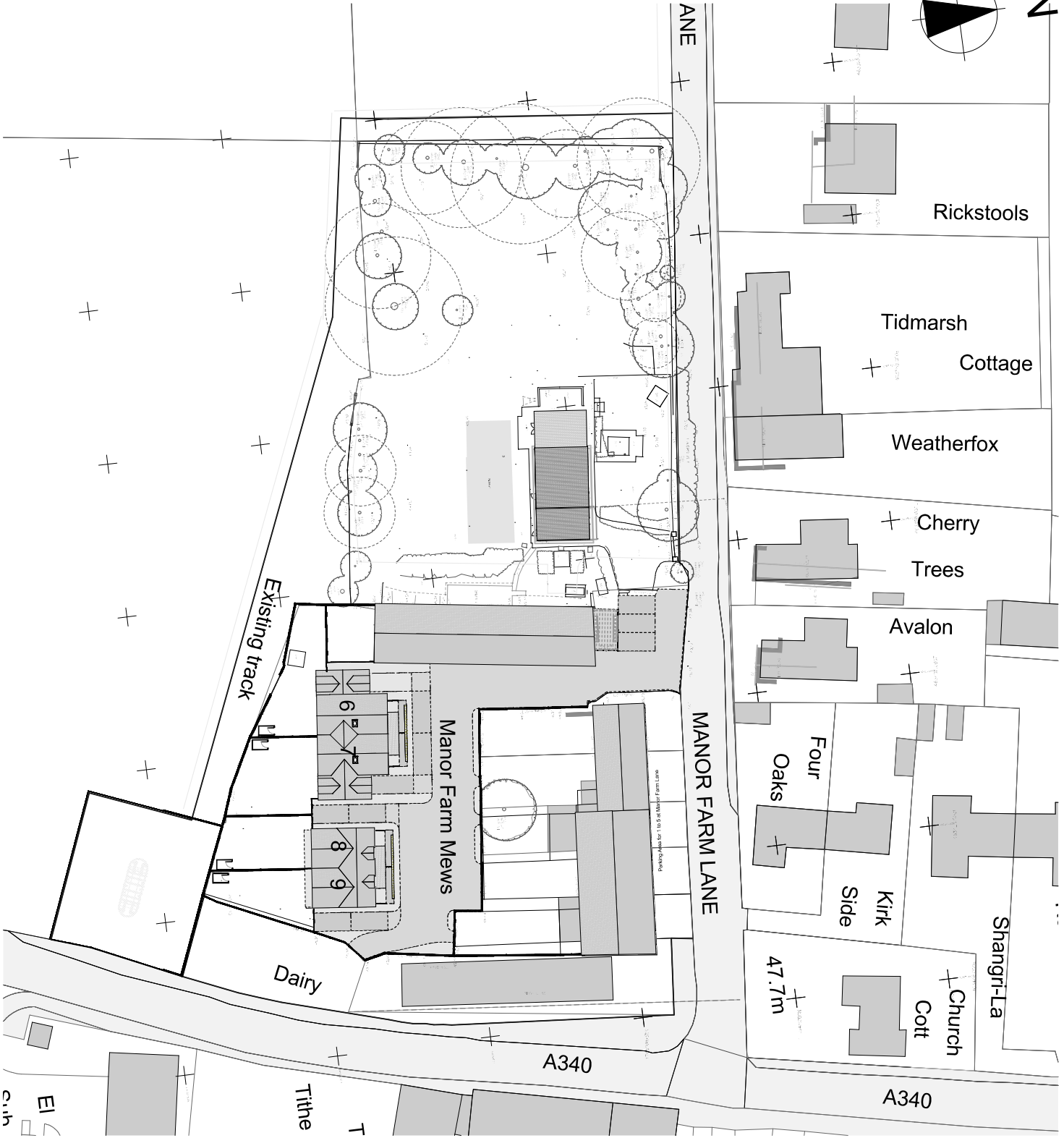
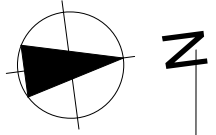
(c) Crown Copyright 2023. All rights reserved. Licence number 100022432



© 1250 of drawing remains the property of The Keen Partnership. All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of The Keen Partnership. All dimensions to be checked on site and any discrepancies to be reported before work commences.

Notes:

<p>Job Title: ..</p>			
<p>Drawing Title: Location Plan</p>			
<p>Drawing Date: ..</p>	<p>Scale: ..</p>	<p>Drawn By: SY</p>	<p>Scale: 1:1250, 1:500 @A1</p>
<p>Issue Date: 26/09/2023</p>	<p>Scale: SY</p>	<p>Drawn By: SY</p>	<p>Scale: 1:1250, 1:500 @A1</p>
<p>Job No: P09253</p>	<p>Project No: 9255-104</p>	<p>Drawn No: ..</p>	<p>Rev: ..</p>

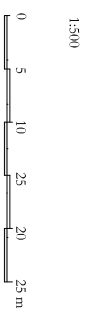


100
Existing Ground Floor Plan
1:500

© This drawing remains the property of The Keen Partnership and shall not be copied without prior written consent. All dimensions to be checked on site and any discrepancies to be reported before work commences.

Notes:

- AREAS:**
- Site Area: 2.247^{1/2}
 - Existing Buildings GIA: 161.7m²
 - House 1
Proposed Main Building GIA: 211^{1/2}
Garage GIA: 28m²
 - House 2
Proposed Main Building GIA: 211^{1/2}
Garage GIA: 28m²



THE KEEN PARTNERSHIP
The Courtyard
Edling Road
Reading RG8 8FX
Tel: 0118 9510 955
Fax: 0118 9510 886
dphs@keenpartnership.co.uk
www.keenpartnership.co.uk

stb
Architectural Registration Board
Chartered Association of Building Engineers
Chartered Institute of Building
Chartered Institute of Environmental Health & Safety

Client:
Manor Farm (Tidmarsh) Ltd
Job Title:
The Rancher, Manor Farm Lane,
RG8 8FX

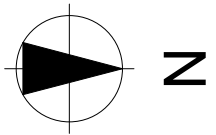
Drawing Title:
Existing Site Plan

Drawing Date:

Status:
Planning Drawings

Issue Date:
26/09/2023
Drawn By:
CM
Scale:
1:500@A3

Job No.:
9255
Drawing No.:
9255-105
Rev.:



1 Existing Block Plan 1:500

2

Proposed Block Plan

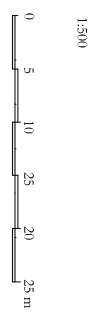
1:500

© This drawing remains the property of The Keen Partnership and shall not be copied without prior written consent. All dimensions to be checked on site and any discrepancies to be reported before work commences.

Notes:

AREAS:

- Site Area: 2.247m²
- Existing Buildings GIA: 161.7m²
- House 1
Proposed Main Building GIA: 211m²
Garage GIA: 28m²
- House 2
Proposed Main Building GIA: 211m²
Garage GIA: 28m²



THE KEEN PARTNERSHIP
The Courtyard
Edling Road
Reading RG8 2JUA
Tel: 0118 9510 955
Fax: 0118 9510 886
dphs@keenpartnership.co.uk
www.keenpartnership.co.uk

incabe
Chartered Association
of Building Engineers

ARB
Architects Registration Board

Chartered Institute
of Building Services
& Technology

Client:
Manor Farm (Tidmarsh) Ltd

Job Title:
The Rancher, Manor Farm Lane,
RG8 8FX

Drawing Title:
Existing and Proposed Block Plan

Drawing Date:
#####

Status:
Planning Drawings

Issue Date:
26/09/2023

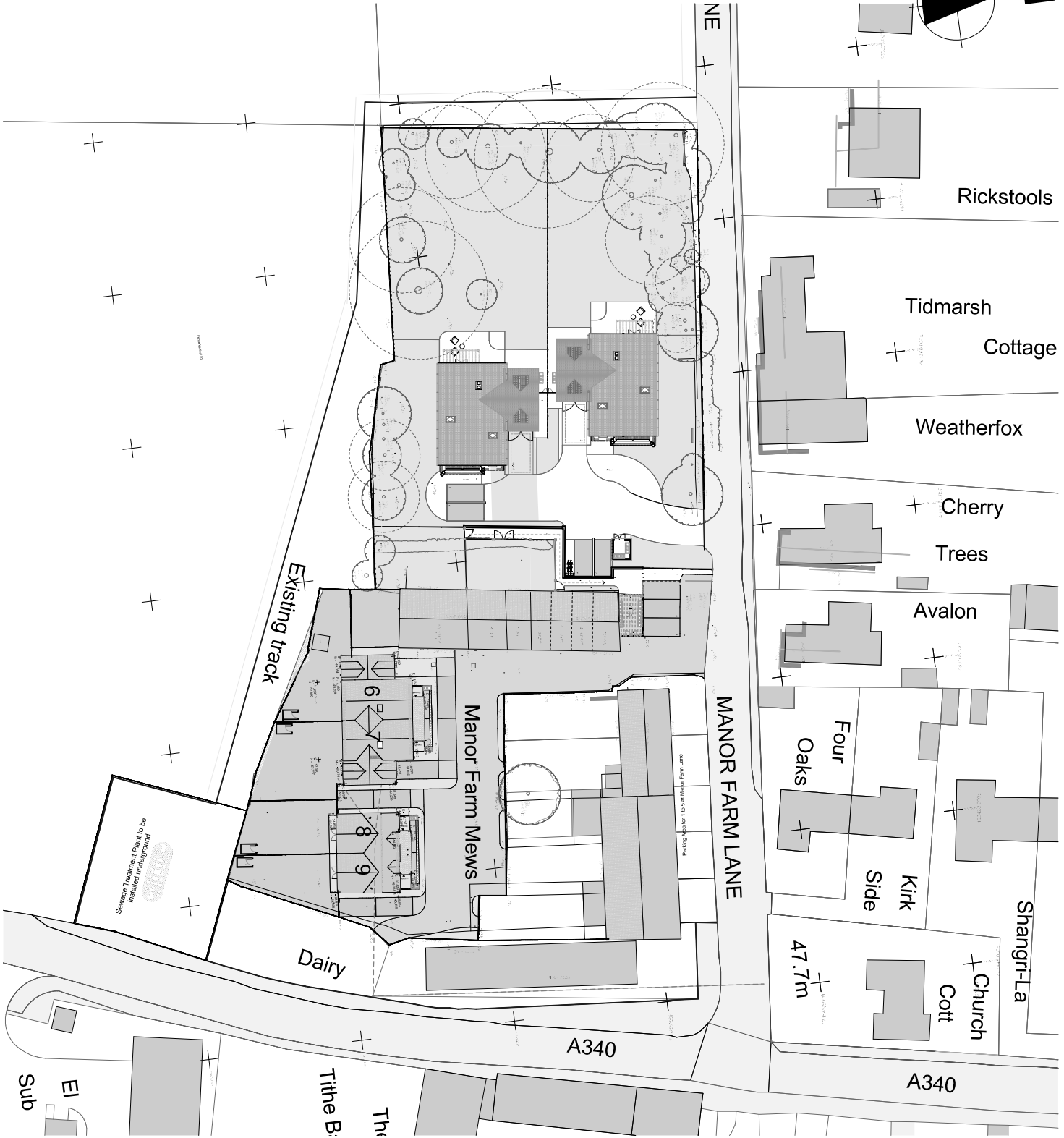
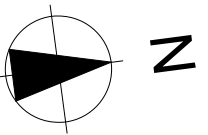
Drawn By:
CM

Scale:
1:500@A3

Job No.:
9255

Project No.:
9255-105

Rev.:



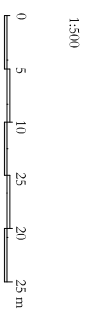
100
Proposed Ground Floor Plan
1:500

© This drawing remains the property of The Keen Partnership and shall not be copied without prior written consent. All dimensions to be checked on site and any discrepancies to be reported before work commences.

Notes:

AREAS:

- Site Area: 2.247m²
- Existing Buildings GIA: 161.7m²
- House 1
Proposed Main Building GIA: 211m²
Garage GIA: 28m²
- House 2
Proposed Main Building GIA: 211m²
Garage GIA: 28m²



THE KEEN PARTNERSHIP
The Courtyard
Edinburgh
RG8 8FX
Tel: 0118 9510 955
Fax: 0118 9510 886
dphs@keenpartnership.co.uk
www.keenpartnership.co.uk

stb
Architect Registration Board
Chartered Association of Building Engineers
Chartered Institute of Building
Chartered Institute of Environmental Health

Client:
Manor Farm (Tidmarsh) Ltd
Job Title:
The Rancher, Manor Farm Lane,
RG8 8FX

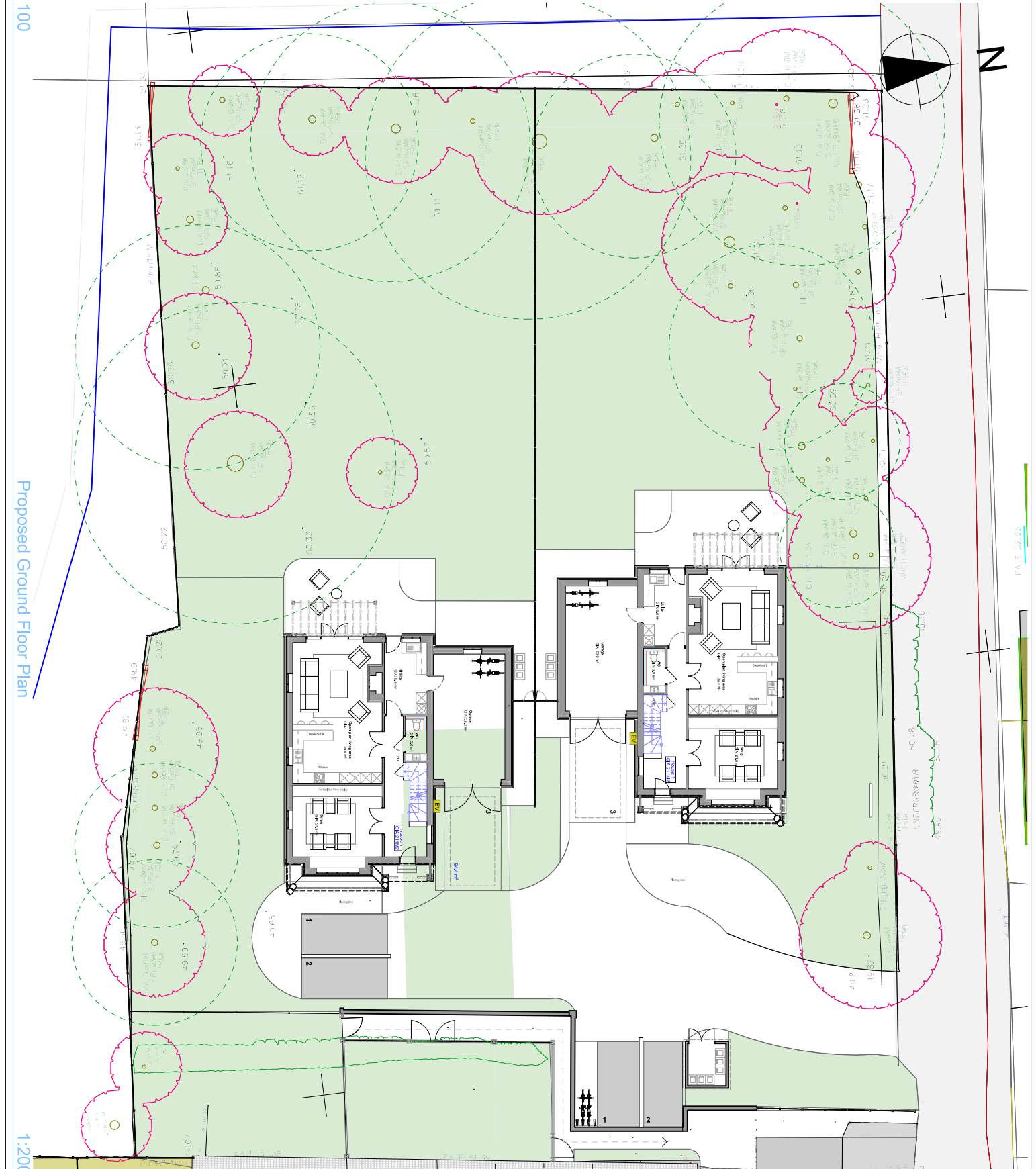
Drawing Title:
Proposed Site Plan 1:500

Drawing Date:

Status:
Planning Drawings

Issue Date:
26/09/2023
Drawn By:
CM
Scale:
1:500@A3

Job No.:
9255
Drawing No.:
9255-105
Rev.:

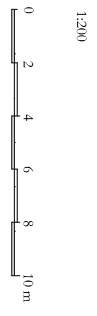


© This drawing remains the property of The Keen Partnership and shall not be copied without prior written consent. All dimensions to be checked on site and any discrepancies to be reported before work commences.

Notes:

AREAS:

- Site Area: 2.247m²
- Existing Buildings GIA: 161.7m²
- House 1
Proposed Main Building GIA: 211m²
Garage GIA: 28m²
- House 2
Proposed Main Building GIA: 211m²
Garage GIA: 28m²



THE KEEN PARTNERSHIP
The Courtyard
Edinburgh
RG8 8FX
Tel: 0118 9510 955
Fax: 0118 9510 885
dphs@keenpartnership.co.uk
www.keenpartnership.co.uk

stb
Architects Registration Board
Chartered Association of Building Engineers
Chartered Institute of Building
Chartered Institute of Environmental Health and Safety

Client:
Manor Farm (Tidmarsh) Ltd

Job Title:
The Rancher, Manor Farm Lane,
RG8 8FX

Drawing Title:
Proposed Site Plan 1:200

Drawing Date: #####

Status: Planning Drawings

Issue Date: 26/09/2023

Drawn By: CM

Scale: 1:200@A3

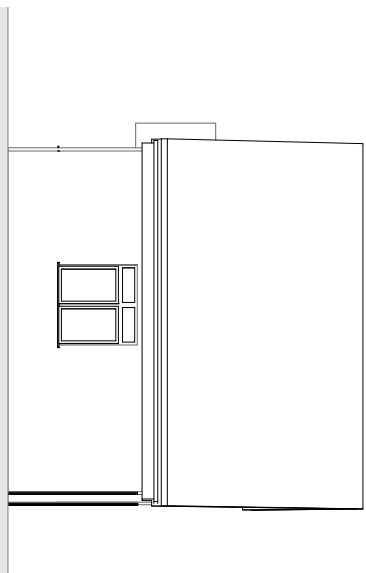
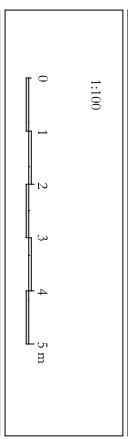
Job No.: 9255

Drawing No.: 9255-106

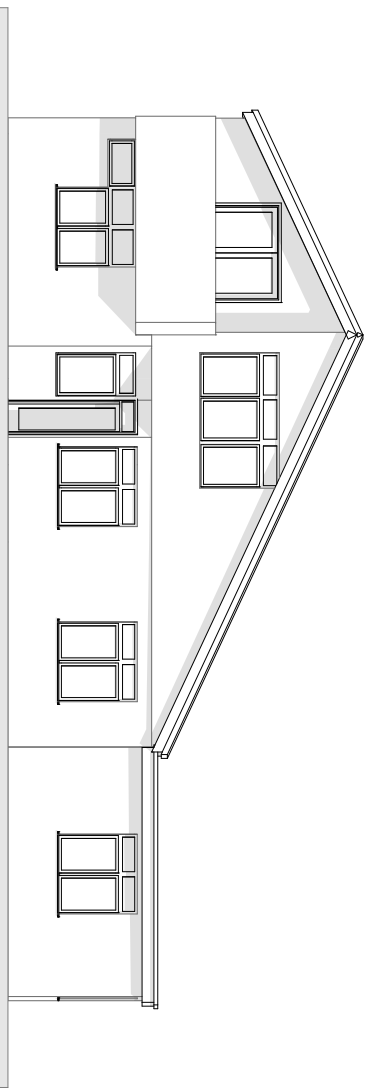
Rev.:

© This drawing remains the property of The Keen Partnership and shall not be copied without prior written consent. All dimensions to be checked on site and any discrepancies to be reported before work commences.

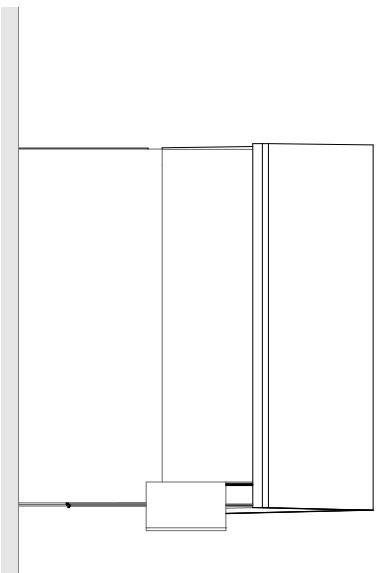
Notes:



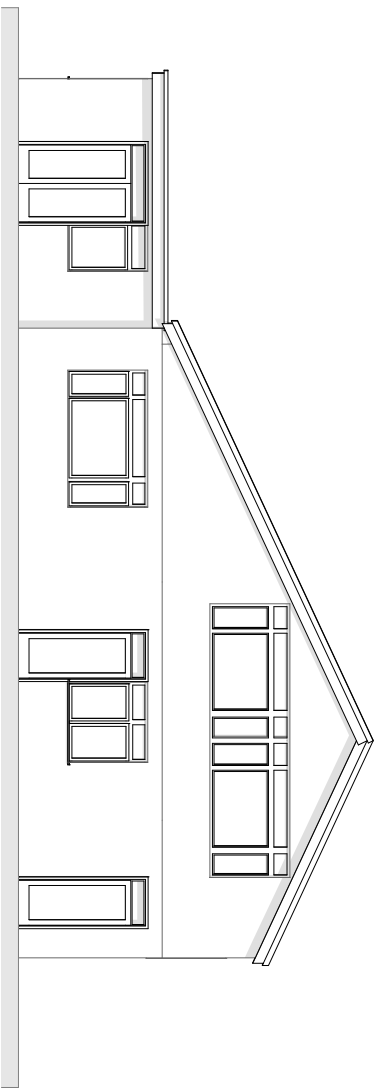
102 Side Elevation 1:100



100 Front Elevation 1:100



103 Side Elevation 1:100



101 Rear Elevation 1:100

THE KEEN PARTNERSHIP
 The Courtyard
 Edling Road
 Reading RG8 2UA
 Tel: 0118 9510 955
 Fax: 0118 9510 886
 dh@s@keenpartnership.co.uk
 www.keenpartnership.co.uk

arcb
 Architects Registration Board
 Chartered Association of Building Engineers
 Chartered Institute of Planning
 Chartered Institute of Environmental Health and Safety

Client:
 Manor Farm (Tidmarsh) Ltd
Job Title:
 The Rancher, Manor Farm Lane,
 RG8 8FX

Drawing Title:
 Existing Elevations

Drawing Date:
 ####
Status:
 Planning Drawings

Issue Date:
 26/09/2023
Drawn By:
 CM
Scale:
 1:100@A3

Job No.:
 9255
Drawing No.:
 9255-108
Rev.:

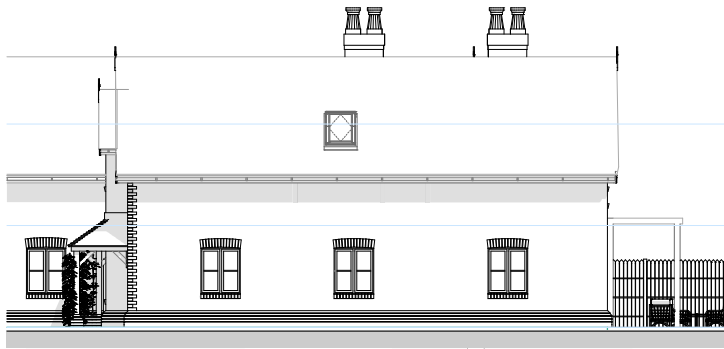
Notes:



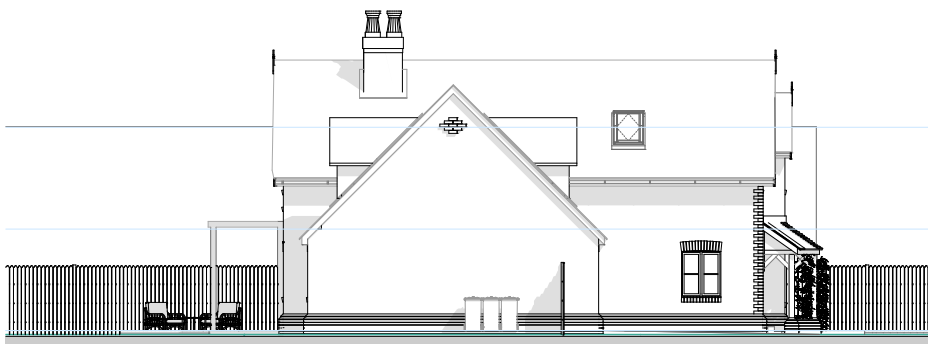
103 Front Elevation 1:100



104 Rear Elevation 1:100



105 Side Elevation 1:100



106 Side Elevation 1:100

Rev/ID	Issue ID	Issue Name	Issue Date	Issued By	Checked By	Approved By

THE KEEN PARTNERSHIP
 The Courtyard
 Edinburgh Road
 Reading RG30 2UA
 Tel: 0118 9510 855
 Fax: 0118 9510 866
 chris@keenpartnership.co.uk
 www.keenpartnership.co.uk

cabe
 chartered association
 of building engineers

RICS

Client: **Manor Farm (Tidmarsh) Ltd**

Job Title: **The Rancher, Manor Farm Lane, RG8 8FX**

Drawing Title: **Proposed HOUSE 1 - Proposed Elevations REV 01**

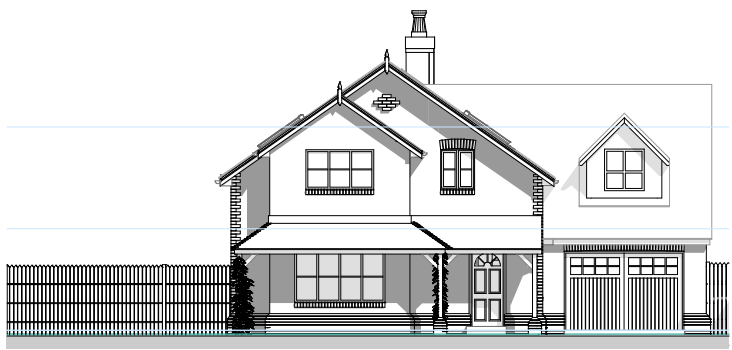
Drawing Date: ####	Status: Planning Drawings
------------------------------	-------------------------------------

Issue Date: 11/10/2023	Drawn By: CM	Scale: 1:100@A2
----------------------------------	------------------------	---------------------------

Job No: Project No. 9255	Drawing No: 9255-108	Rev:
------------------------------------	--------------------------------	----------

© This drawing remains the property of The Keen Partnership and shall not be copied without prior written consent.
All dimensions to be checked on site and any discrepancies to be reported before work commences.

Notes:



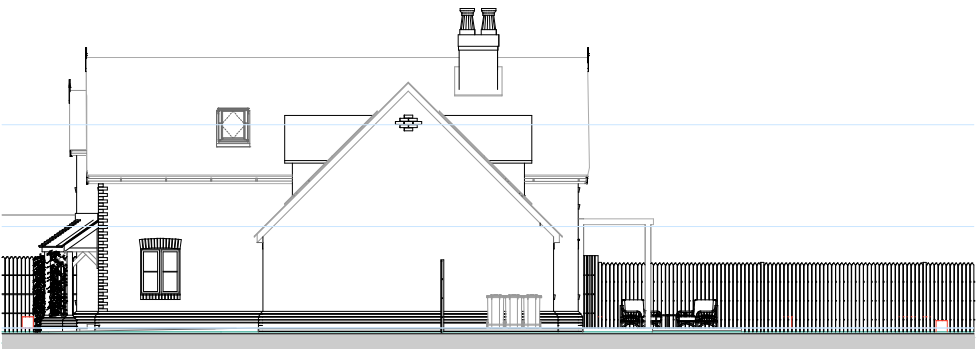
103 Front Elevation 1:100



104 Rear Elevation 1:100



105 Elevation 1:100

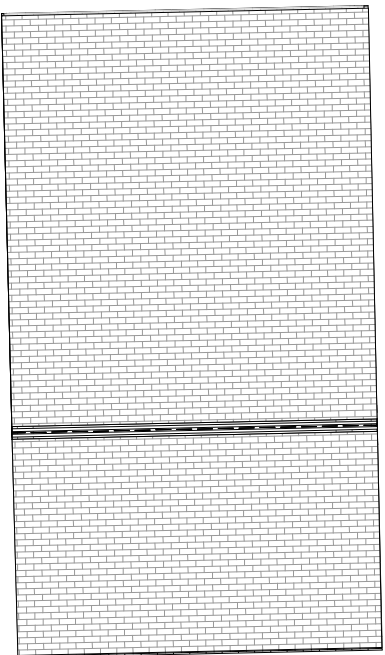
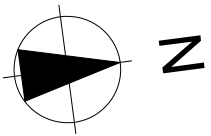


106 Elevation 1:100

Rev/ID	Issue ID	Issue Name	Issue Date	Issued By	Checked By	Approved By

THE KEEN PARTNERSHIP The Courtyard Edinburgh Road Reading RG30 2UA Tel: 0118 9510 855 Fax: 0118 9510 866 chris@keenpartnership.co.uk www.keenpartnership.co.uk	cabe chartered association of building engineers RICS
--	--

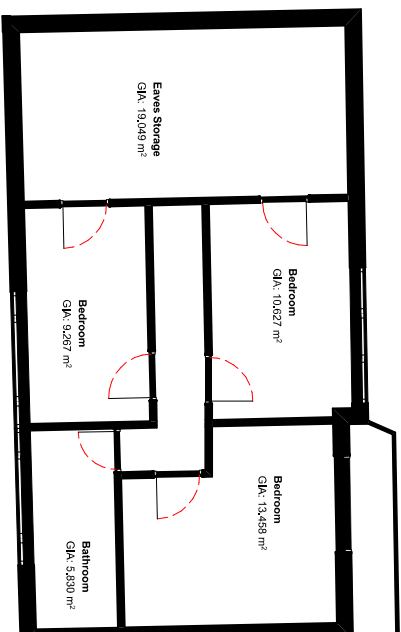
Client:		
Manor Farm (Tidmarsh) Ltd		
Job Title:		
The Rancher, Manor Farm Lane, RG8 8FX		
Drawing Title:		
Proposed HOUSE 2 - Proposed Elevations REV 01		
Drawing Date:	Status:	
###	Planning Drawings	
Issue Date:	Drawn By:	Scale:
11/10/2023	CM	1:100@A2
Job No:	Drawing No:	Rev:
Project No. 9255	9255-110	



102

Existing Roof Plan

1:100



101

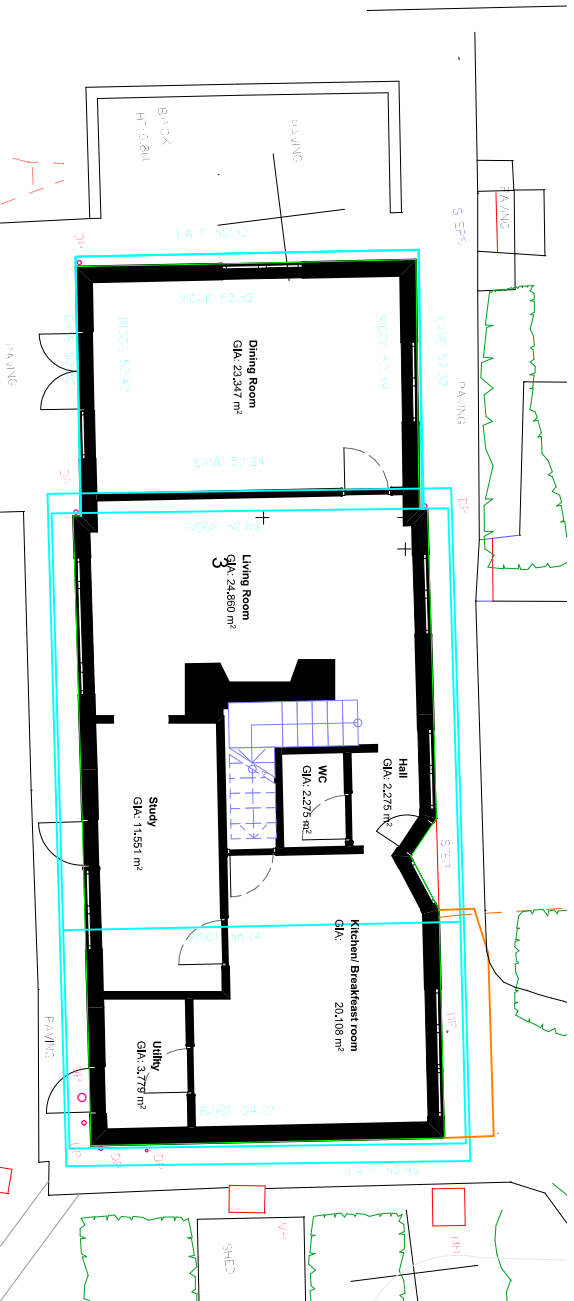
Existing First Floor Plan

1:100

100

Existing Ground Floor Plan

1:100

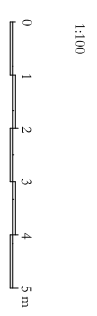


© This drawing remains the property of The Keen Partnership and shall not be copied without prior written consent. All dimensions to be checked on site and any discrepancies to be reported before work commences.

Notes:

AREAS:

- Site Area: 2.247^{ha}
- Existing Buildings GIA: 161.7^m²
- House 1 Proposed Main Building GIA: 211^{1/2} Garage GIA: 28^{1/2}
- House 2 Proposed Main Building GIA: 211^{1/2} Garage GIA: 28^{1/2}



THE KEEN PARTNERSHIP
 The Courtyard
 Eastbury Road
 Reading RG8 2JA
 Tel: 0118 9510 955
 Fax: 0118 9510 886
 dh@s@keenpartnership.co.uk
 www.keenpartnership.co.uk

arcabe
 Chartered Association
 of Building Engineers
ARB
 Architects Registration Board
 Chartered Institute
 of Planners

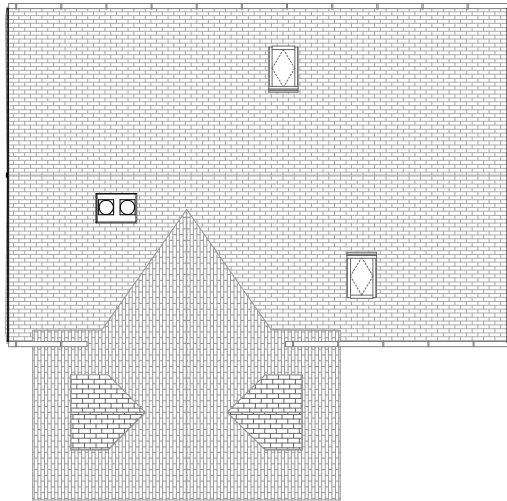
Client:
 Manor Farm (Tidmarsh) Ltd
Job Title:
 The Rancher, Manor Farm Lane,
 RG8 8FX

Drawing Title:
 Existing Ground and First Floor
 Plans

Drawing Date:
 #####
Status:
 Planning Drawings

Issue Date:
 26/09/2023
Drawn By:
 CM
Scale:
 1:100@A3

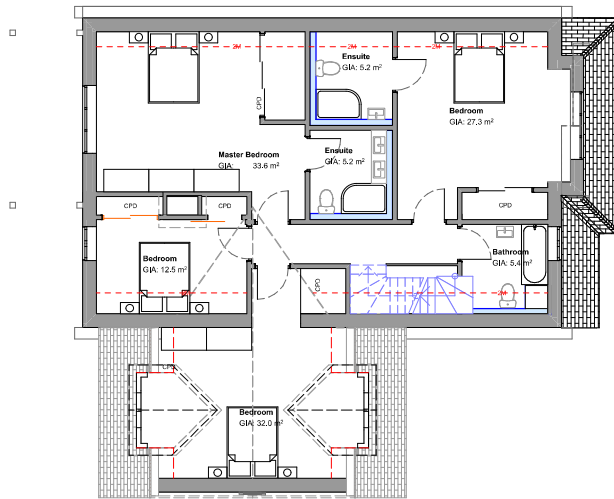
Job No.:
 Project No.
 9255
Drawing No.:
 9255-107
Rev.:



103

Proposed Roof Plan

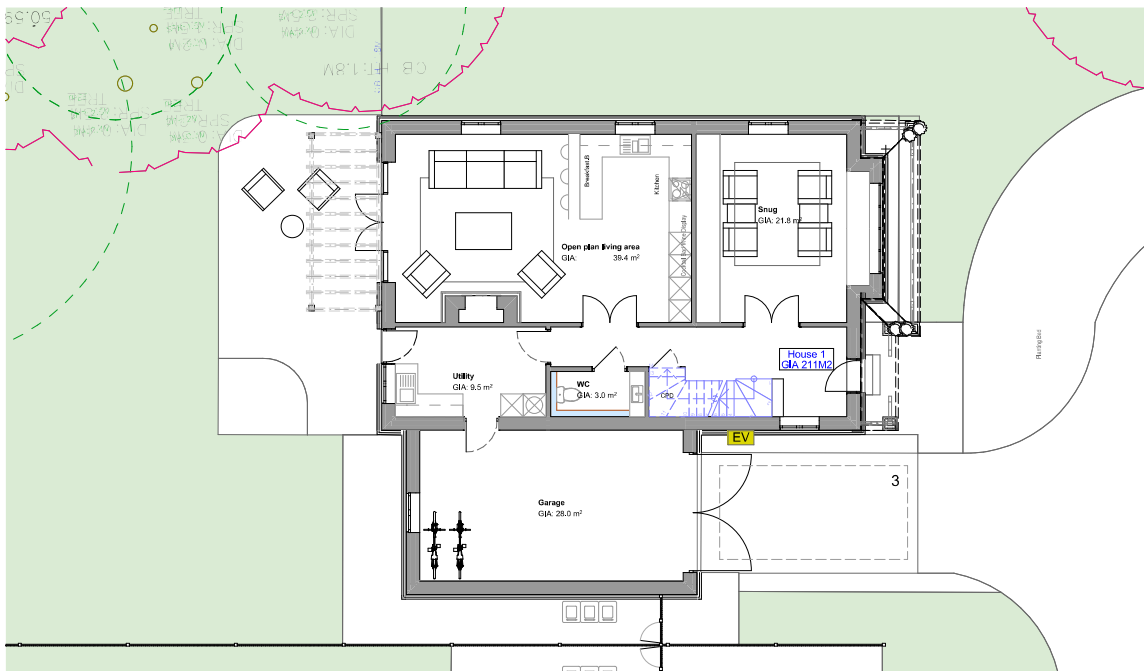
1:100



102

Proposed First Floor Plan

1:100



101

Proposed Ground Floor Plan

1:100

© This drawing remains the property of The Keen Partnership and shall not be copied without prior written consent.

All dimensions to be checked on site and any discrepancies to be reported before work commences.

Notes:



Areas:

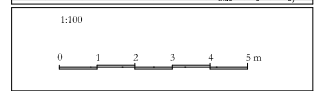
Site Area: 2,247m²

Existing Buildings GIA: 161,7m²

House 1
Proposed Main Building GIA: 211m²
Garage GIA: 28m²

House 2
Proposed Main Building GIA: 211m²
Garage GIA: 28m²

Rev#	Issue ID	Issue Name	Issue Date	Issued By	Drawn By	Approved By



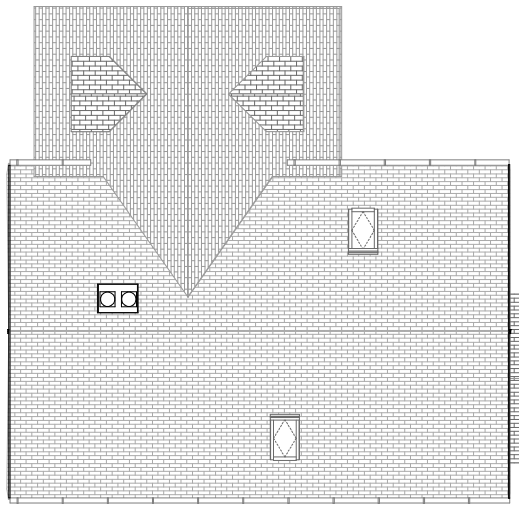
<p>THE KEEN PARTNERSHIP The Courtyard Edinburgh Road Reading RG30 2UA Tel: 0118 9510 855 Fax: 0118 9510 866 chris@keenpartnership.co.uk www.keenpartnership.co.uk</p>	<p>cabe Chartered Association of Building Engineers</p> <p>RICS</p>
--	---

Client:
Manor Farm (Tidmarsh) Ltd

Job Title:
The Rancher, Manor Farm Lane,
RG8 8FX

Drawing Title:
Proposed HOUSE 1 - Ground Floor Plan

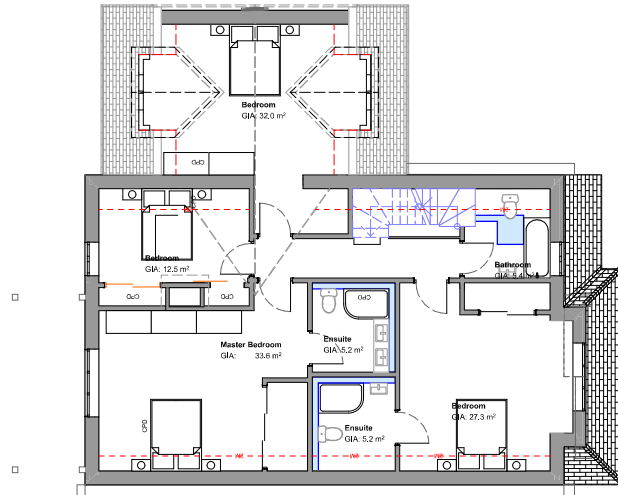
Drawing Date: ###	Status: Planning Drawings
Issue Date: 26/09/2023	Drawn By: CM
	Scale: 1:100@A2
Job No: Project No. 9255	Drawing No: 9255-107
	Rev:



103

Proposed Roof Plan

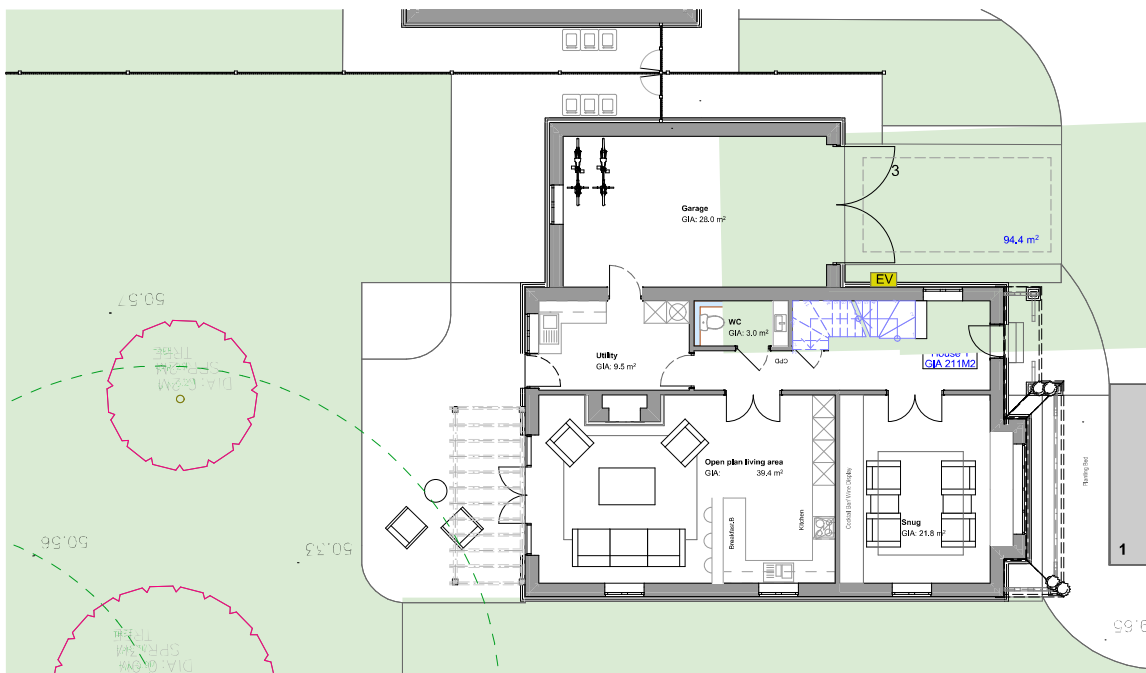
1:100



102

Proposed First Floor Plan

1:100



101

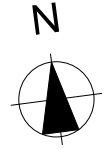
Proposed Ground Floor Plan

1:100

© This drawing remains the property of The Keen Partnership and shall not be copied without prior written consent.

All dimensions to be checked on site and any discrepancies to be reported before work commences.

Notes:



Areas:

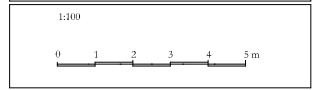
Site Area: 2,247m²

Existing Buildings GIA: 161.7m²

House 1
Proposed Main Building GIA: 211m²
Garage GIA: 28m²

House 2
Proposed Main Building GIA: 211m²
Garage GIA: 28m²

Rev	ID	Issue Name	Issue Date	Issued By	Checked By	Approved By



THE KEEN PARTNERSHIP
 The Courtyard
 Edinburgh Road
 Reading RG30 2UA
 Tel: 0118 9510 855
 Fax: 0118 9510 866
 chris@keenpartnership.co.uk
 www.keenpartnership.co.uk

cab
 chartered association
 of building engineers

RICS

Client:
Manor Farm (Tidmarsh) Ltd

Job Title:
The Rancher, Manor Farm Lane, RG8 8FX

Drawing Title:
Proposed HOUSE 2 - Ground Floor Plan

Drawing Date:	#####	Status:	Planning Drawings
Issue Date:	26/09/2023	Drawn By:	CM
		Scale:	1:100@A2
Job No:	Project No. 9255	Drawing No:	9255-109
		Rev:	